



ARCHITECTURAL DESIGN GUIDELINES

APRIL 2025

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OBJECTIVE

The following Architectural Guidelines have been compiled to assist you in problem free construction. We have taken steps to ensure that this information and engineering plans cover all aspects of design and construction in an effort to streamline the process prior to construction.

CONCEPT

The Architectural Guidelines are designed to provide visual recommendations for the building massing, siting, style and colour, and to obtain the best possible streetscape appearance. Alternate exterior treatments may be requested to reinforce the streetscape. Emphasis will be concentrated on trying to create a aesthetically appealing “CURB APPEAL” to each home through attention to detail on the front elevation. In addition, the landscaping suggestions will form a strong complement to the proposed tree lined boulevards.

A heavily landscaped front yard is strongly encouraged to ensure a mature streetscape for the neighbourhood.

DISPUTES

Should any questions or disputes result from individual concerns; the Developer’s decision will be final.

Because of a wide variety and individual taste in house types in any development, care must be taken to incorporate these unique values into our development, giving special attention to each home's relationship with neighbouring properties.

To achieve an acceptable standard of visual appeal, a recommendation for architectural detailing and continuity will apply to all homes. The natural landscape setting and history of the area provides for the perfect setting for this collection of **Heritage, Modern/Contemporary, Prairie, and Modern/Farmhouse themed homes**. The architectural themes we have selected provide elements that can be incorporated in a diverse range of styles, in a variety of applications. This framework will encourage originality and individual expression while the pattern of coordinated components and features establish the character of Edgemont.

These elements will include strong entrance treatments, the use of window grills and trim boards. The use of design elements particular to each style is recommended, but all plans will be reviewed on their own merits. Stucco exteriors will be considered on an individual basis with consideration for the appropriate detailing and style.

HOUSE SIZE

Houses should have a consistency of mass and volume within the streetscape. As such, house widths and sizes should relate proportionately and logically to the lot width and neighbouring houses. Individual homes will be reviewed on their own merits of design, massing, proportion and compatibility.

Front Drive Garage

The minimum house width should be within two 2'-0" feet of the recommended building pocket on pockets of 26'-0" or less. A 2' garage offset will be required if the house does not fill the pocket. (ex. A 24'-0" home will require a 2'-0" garage offset). The maximum garage offset allowed is two feet and may be increased to 4'-0" for pockets 28'-0" and greater.

Front Drive Garage – Zero Lot Line

The minimum house width should be within 2'-0" of the recommended building pocket. A 2' garage offset will be required if the house does not fill the pocket. The minimum entry width should be 4'-0".

Laned

The minimum house width should be within 2'-0" of the recommended building pocket.

REPETITION

Similar or identical front elevations are discouraged within two lots, (XOAX) unless significant changes have been made to the house style, roof pitch and exterior materials to the satisfaction of the Architectural Consultant. It is urged that the same or similar model should have at least one lot between homes.

On lots designated high or moderate visibility, repetition may be addressed at both the front and rear elevations.

Repetitive use of elevations, this includes front elevations as well as high visibility rear elevations may be monitored to ensure interesting streetscapes.

CORNER LOTS

Houses on corner lots should have special design consideration. Flanking side and the rear elevations (on high visibility roadways) may carry details consistent with the front elevation and avoid large expanses of blank wall space. House should have roof lines predominately sloped towards both streets and wrap to carry the detail to the rear of the home. Bungalows and side splits are recommended; however, all model types will be considered within the foregoing criteria.





HIGH VISIBILITY LOTS

The rear elevation of homes on perimeter lots should have wall openings of a number and size appropriate to the area of wall surface, roof lines and suitable overhangs at cantilevers, box-outs and bay windows. In addition, roof lines and decks are recommended to prevent a three-story presence. An element of detail should include on these elevations to match the front elevation and overall design.

SITE PLANNING AND GRADING

Site planning and grading should accommodate the natural slope of the land and variations in grade absorbed within the building mass as much as possible. Lot grading should be in strict conformance with the approved grading plan for the subdivision.

Front entry steps are recommended to be a maximum of four risers per set. Where the grade calls for more than four risers, the riser should not be split. Exceptions to this requirement may be granted in consideration of unique design, topography and lateral bracing concerns. If there are more than 4 risers per set, the step should be a minimum of 4' wide with appropriate railing style.

Additional setbacks may be recommended to articulate and provide streetscape differentiation to all proposed homes. Proposed sample site plans indicating typical set back requirements will be available from the Consultant for review. It is recommended to obtain Preliminary **Approval** for all proposed homes to ensure acceptable setbacks.

PRIMARY FINISH

Recommended Cladding materials include:

- Double 4/5 beveled, cove or traditional vinyl siding in a horizontal application
- Brick or stone is not required. When used, brick, stone or shale in stacked application in a panel form.
- Stucco of sand float finish (subject to acceptable detailing and colour)
- Hardboard siding, prefinished (long life) siding in a horizontal application
- Fieldstone and Stone tile will be considered on an individual basis

TRIM MATERIALS

To achieve the standard and caliber of visual appeal, a recommendation for architectural detailing and continuity will apply to all homes.

The use of window and door surrounds should be a feature on all homes. Trims should be a minimum of 6". In addition, all front gable end roofs should have minimum 6" shadow bands. Exterior Finishing and trim details should be consistent with the applicable style.

Where columns or posts are used on the front or highly visible elevations, they are recommended to be of substantial form and solid in appearance. Columns and posts should include suitable details at top and bottom and are represented in illustrations attached.

Windows and grill patterns should be consistent with the particular style.

Brick or stonework is optional on the front of the home and when used should return a minimum of 12" around corners. Brick or stonework should be complementary to the main body colour of the home.

In addition, the verandahs and /or porch should be enclosed. Lattice is discouraged. Risers should be closed back.

All front entry steps should be concrete. Alternative composite wood steps may be used.

All exposed wood (including PWF) (when used) should be stained out to match the wall colour or trim colour.

All flues, when used, should be contained in a corbelled chase with the same finish and detailing as the house.

PARGING

Maximum height of parging on all elevations should be 2'0" above grade and 1'-0" at the front of the home.

EXTERIOR COLOURS

Colours will be approved on an individual basis. The streetscape should contain a variety of colours. **The use of a third accent colour is strongly recommended. This colour may typically be used on the front door or may be used in combination of trim elements for the home.** In keeping with the character of the neighbourhood and in consideration of blended streetscapes, pastel colours are discouraged. Darker colour palettes should dominate the streetscape. White and lighter cladding colours may be used moderately in combination with darker palettes in contrast. Premium colours may be requested at the discretion of the Consultant to ensure a diverse streetscape.

ROOFING

Roof materials should be asphalt shingles. Minimum roof pitch and roof overhangs are as per each style. Reduced overhangs may be considered if they are proportionate to the design of the home at the discretion of the Architectural Consultant. The minimum fascia size should be 6". The rooflines on any house should be consistent or complementary to the total house design.

The roofing materials and colours may be selected from the attached [Appendix 'A'](#).

GARAGE / DRIVEWAY / WALKWAYS

FRONT DRIVE GARAGE

Driveways should be located in accordance to the approved driveway location plan. Triple car garages will be reviewed for compatibility to the proposed lot and adjacent siting. The maximum distance between the top of the garage door and the garage eave line should not be more than 18". Where the design exceeds this requirement the use of additional architectural detailing to reduce the impact may be required.

- Driveway Configuration

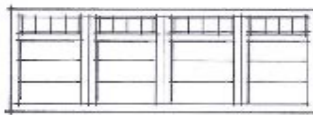
The driveway should not to exceed the width of the garage to the garage front where the width may then flare to include a walkway to the front of the home or to the rear yard. A wider driveway may be considered if it can be demonstrated that it does not compromise drainage and does not detract from the streetscape and landscaping standards. The minimum width of all driveways should be at least 1'-0" wider than the garage door on each side.

- Oversized Garages

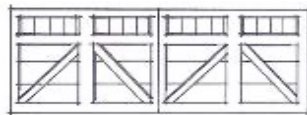
Oversized (24'+ wide) garages should have articulation in the form of a jog to break up the expanse of flat wall and roof line.

OVERHEAD DOORS

Garage overhead doors should be painted to blend with the exterior and enhance the presentation. Corners of overhead doors should be straight or curved. Angled corners are not recommended. An upgraded overhead door is recommended appropriate to style, as illustrated below:



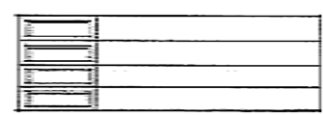
• Prairie Modern



• Heritage / Farmhouse



• Contemporary



• Modern

GARAGE MASSING

The area above the attached garage may include a bonus room or some development of the second floor to balance the overall massing.

Homes should be designed to integrate the garage and minimize the appearance while enhancing the mass of the house itself. Some architectural measures that can achieve this are proportionate development of the second floor above the garage and an emphasis on entrance treatment.

The walkway to a house from the public sidewalk, curb or driveway should be a minimum, poured concrete in broom finish 30" wide. Individual patio blocks are discouraged.

DRIVEWAYS AND WALKWAYS

May be constructed of the following materials:

- Concrete, broom finish
- Stamped and coloured concrete
- Exposed aggregate concrete

In all cases where coloured concrete is used, the colour should be reviewed by consultant at time of application.

LANDSCAPING DEPOSIT

- a) The Builder shall collect a landscape deposit to ensure landscape compliance.
- b) Once the homeowner has completed their landscaping, they should inform their builder. A copy of the final lot grading certificate, signed by an A.L.S., certifying that the lot has been graded as per approved lot grading plan should be provided.
- c) The Landscape deposit will be released by the builder upon fulfillment of the following requirements.

LANDSCAPING REQUIREMENTS

Environmentally friendly landscaping that minimizes water use and fertilization requirements is recommended. Yard designs that incorporate features such as rain gardens to utilize rainwater; and native or drought tolerant plants that minimize the need for extra watering or fertilizing are encouraged.

FRONT YARD LANDSCAPE

It is recommended that a minimum of one (1) tree and a prepared shrub bed containing at least 4 shrubs, and sod to the front yard and to the curb on the roadway. The shrub bed should be located in the front half of the yard and forward of an attached garage.

The side yard at the driveway may be finished in sod or rock/bark mulch.

In the case of an end of block lot (Corner lot), any portion of the side yard up to the sidewalk is considered the front yard and must be landscaped

The City of Edmonton requires that landscaping must be installed within 18 months of occupancy.

The City of Edmonton has specific landscaping requirements that must be followed. All requirements should be confirmed with the City of Edmonton's Zoning Bylaw.

For lots less than 8.0 meters the following is required:

- 1 deciduous tree (minimum of 50 mm. caliper)
- 1 coniferous tree (minimum of 2.0 m height)
- 4 shrubs (5-gallon pot)

For lots 8.0-15.0 meters the following is required:

- 1 deciduous tree (minimum of 50 mm. caliper)

- 1 coniferous tree (minimum of 2.5m height)
- 6 shrubs (5-gallon pot)

Please be advised that the City of Edmonton has Landscape Requirements that can be found here:
<https://zoningbylaw.edmonton.ca/part-5-general-development-regulations/560-landscaping>

City Owned Boulevard/Street Trees:

City boulevard/street trees may be planted in the City owned road right-of-way between the property line and the sidewalk. There may not be a boulevard/street tree planted in front of all lots; boulevard/street tree locations are determined by the location of above ground and below ground utilities and roadway designs. If a city boulevard/street tree is planted on the lot, it is understood that this tree is in addition to the front yard tree and other landscape requirements required.

FENCING

Fencing should be consistent in design and colour with the fencing style established for the subdivision, a copy of which is attached. Where black chain link fencing is used at the back of lots on green space or SWMF areas the same fencing may be used along the side yard areas to the back of homes to ensure an open visual appeal for the rear of all homes. Wood screen fencing may also be used to allow for privacy between neighbours if this is desired. This type of selection is generally mutually agreed upon by the adjoining neighbours.

Wood screen fencing is recommended on all other lots and as outlined in the foregoing, should be consistent in design and colour with the fencing style established for the community, an illustration of which is attached in detail in Appendix 'B'.

The maintenance of all fences is the responsibility of the homeowner.

ANCILLARY BUILDINGS / GARDEN SHEDS



Where such structures are visible from public adjacencies, (perimeter lots, corner lots and lots designated high visibility) exterior finish style and colour should complement the house. Roof style and materials should match the materials used on the house.

The side wall elevations of accessory buildings/sheds should not extend higher than adjacent fencing.

Accessory buildings on lots designated high visibility should be a minimum of three (3) metres from the rear fence line.

INTERPRETATION

The enforcement, administration and interpretation of these guidelines shall be at the discretion of the Developer or its designated consultant. The unfettered application of these guidelines shall be without notice or precedent.

CONSULTANT

Check with the Architectural Consultant for all applicable drawings, and any special conditions.

CITY REGULATIONS

Ensure that city regulations are met and note relevant plans regarding utilities and rights of way.

GRADING

Check Building Grade Plans and conform to them. Do not grade to existing vacant lots or unfinished lanes, but to elevations provided.

PLOT PLANS

Plot plans must include the following:

- Scale 1:300 metric
- North arrow
- Municipal address
- Legal description of property
- All property lines designated and dimensioned
- Size and location of proposed building(s) dimensioned to property lines, existing building and other structure where applicable
- All cantilevers (including floor, bay windows, fireplaces, eaves, etc.)
- Abutting streets, avenues, reserves, etc. Easements and utility right-of-way labeled and dimensioned, accurately figured, explicit and complete
- Spot elevations around building and drainage directions
- Dimensions from property line to sidewalk and face of curbs

APPENDIX A - ROOFING

RECOMMENDED ROOFING PRODUCTS AND COLOUR

GAF	Timberline HD	Weatherwood, Charcoal, Slate Pewter Grey, Mission Brown Barkwood
IKO	Timberline HD	Weatherwood, Driftwood, Charcoal Grey, Dual Black, Heatherwood
BP	Harmony 30	Stonewood, Twilight Grey, Beachwood Dual Black

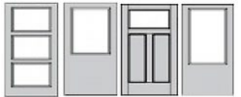
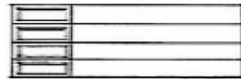
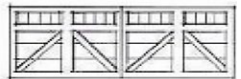
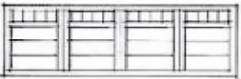
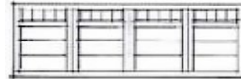
Additional Colours and Manufacturers as approved by the Designated Consultant

APPENDIX B - STYLE AND COLOUR SUMMARIES

RESIDENTIAL ARCHITECTURAL STYLE ELEMENTS

STYLE	MODERN	HERITAGE	PRAIRIE OR PRAIRIE MODERN	MODERN FARMHOUSE
Roof Slope & Soffit/ Eave Overhangs	Main: 6/12 Side facing Shed/ gable (may be lower if shed roofs are wide 4/12 or 5/12) 8/12 Cottage & facing "shed" gable 12"-18" eave overhangs, capped rafter tails, absence of horizontal finished soffit	Main: Min. 6/12 Facing gables: Min. 7/12 18"-24" eave overhangs	Cottage/Hip Roof only 4/12 – 5/12 (houses over 22') 24" eave overhangs or greater where possible 6/12 Cottage/Hip on houses 22'0 wide or less	Main Min. 7/12 Facing gables 8/12 to 10/12 & Higher 12"-18" eave overhangs, thicker fascia highly recommended as roof is primary visual focus Front gable fascia is often finished in exposed rafter tail edges
Roof Style	Shed or Cottage/Shed Combo, may have flat roof section but not the main roof	Gable and/or Hips, exposed rafter tails and braces typical	Low pitched Cottage or hip roof only	Cottage or Gable with Steeply pitched front facing gables with exposed rafter tails (typical)
Primary Siding Material	Horizontal and vertical vinyl or cement fibre siding	Horizontal vinyl siding, cement fibre board, flat stucco AND shakes as wall finishing is typ.	Horizontal vinyl siding, cement fibre board, flat stucco	Vertical board and batten siding on walls
Additional Cladding/ Accent Material	Smooth painted panel or cementitious panel Longboard or other wood grain siding Stone or Brick Corrugated Metal Siding Cement or Wood fibre siding accents Vertical Vinyl Siding	Shakes Board and Batten Shutters, Gable Braces, Soffit Brackets Some Flat Panel Accents, Vertical Siding, Board & Batten with shakes for Transitional Heritage Scallop siding used in moderation in gable ends with shakes Stone or Brick	Smooth panel boards, geometric square and linear trim patterns for Modern Prairie Brick Preferable but some stone will be accepted Aluminum wood grain siding for the Urban Prairie Modern homes Vertical Siding is not suitable	Vertical Siding Minimal painted flat panels with trim details Stone Horizontal belly bands (8" to 12") Horizontal siding as accents Louvers, Gable Braces, soffit brackets
Window and Door Trims/Surrounds	6"	6" – may have stacked shadowboards	6" (Where there is an abundant of different vertical or horizontal trims, 4" may be acceptable to accommodate space and a specific look but the primary trim should be at least 6")	6"

APPENDIX B - STYLE AND COLOUR SUMMARIES

STYLE	MODERN	HERITAGE	PRAIRIE OR PRAIRIE MODERN	MODERN FARMHOUSE
Soffit Shadowboards	6"	8"-10" (especially on hip roofs), can be stacked. Stepped oversized bellybands are used as a transition piece between different siding colours or profiles	6" or 8" or higher	6" or 8", can be stacked
Louvres	n/a	Rectangular, Rounded Top	n/a	Square, Rectangular, Triangular
Shutters Style	n/a	Panelled Style or Board and Batten or Custom	n/a	Board & Batten Style (Typical)
Window Grills & Window Styles	Single – Linear style stacked windows. If vertical windows used, use a single wide window along the top (optional on some elevations)	Ill or # Grills are installed in the entire pane or the upper third- can be all vertical single grills or grid pattern	Perimeter grills are most common, single –, single top grid grills or double top grid grills if vertical ganged and or linear style ganged windows for the Urban Prairie Modern	Single (grid pattern) – Sash style windows, small square accent windows, grills in upper sash or four square grills in entire vertical long window
Entry Column on Front Garage Homes	8"-12" simple square or rectangular with simple detail top and bottom. Full brick columns are common	8" to 12" larger with detail top and bottom, typically finished with heavy shakes, typically tapered column (full or half). Columns may extend done to grade. 1/2 wall instead of railing on verandah is very common, often finished in wood shakes.	10"-18" or larger, with single or stepped detail top and bottom. Brick or stone is highly recommended on Prairie style columns at 7'0 +/- height with wood beam or painted timber extension post (approx. 24-36" to horizontal beam)	6" or 8"-12" simple with simple detail top and bottom, may be clad in board & batten or vertical siding or painted panelling. Angled wood braces at top of column is common
Front Entry Door Style (or similar style) All except modern style have grill or in-glass ornamentation				
Preferred Overhead Door Sample Style (For Front Drive Garage Homes)				

APPENDIX B - STYLE AND COLOUR SUMMARIES

STYLE	MODERN	HERITAGE	PRAIRIE OR PRAIRIE MODERN	MODERN FARMHOUSE
Architectural Style Colour Requirements	Colours are warm with light, medium and dark shades of earth tones with subtle contrasts at soffits/fascia and trim. Multi-tonal (two or more different shades) siding is typical. But modern can utilize a variety of shades and tones but bold, bright hues are not appropriate for the community unless used on the front entrance door only. Stone and Brick can be used in a variety of colours and variation.	Colours are mid to dark earth tones or darker historical colours. Fascia and trim must be contrasting in light hues. Light colours are not appropriate for the Heritage style. Darker, premium vinyl siding colours will be dominant. Stone is often in natural local river rock shades in light and medium toned stone. Black colours are seldomly used for masonry.	Colours are mid to dark earth tones with monochromatic or dark/contrasting trimwork and soffit/fascia. Light/medium and medium brick tones are the preferred masonry but some stone in a simple linear profile will be acceptable. Multi-tonal (two or more different shades or tones) siding is encouraged for variety. Stone or Brick colours are often dark but medium tones will be accepted as well.	Main Cladding Colours are typically white or light tones with darkly contrasting black windows with thick black grills. Two-tone siding is an acceptable way to add in darker contrasting colour. Some light, neutral earth tones for wall cladding and white trim will be accepted. Fascia and trim can be contrasting dark, neutral hues for variety. J-trims around windows and doors are a contrasting colour to the window and/or siding. White homes will be limited and reserved for Farmhouse Style only.
Style, Colour and Profiles of Masonry Suited to the Architectural Style	Straight Cut (3" linear stone) Cambrian Cut Brick Castlestone Stacked Stone Cambrian Cut Refined Ledge stone Drystack Hewn Stone Pro-Fit Ledge stone Cliffstone	River Rock Heritage Brick Shadow Rock Rustic Ledge Bluffstone Cliffstone Fieldstone Tumbled/Rustic Brick (Pro-fit or modern profiles are not appropriate for Heritage Style)	Brick (Highly preferred) Stacked Stone Cliffstone Mountain Ledge Ledge stone Southern Ledge stone Drystack Ledge stone Sculpted Ashlar Country Ridgestone	Brick Country Rubble Fieldstone Mountain Ledge Shadow Rock Rustic Ledge Bluffstone River Rock Mountain Ledge Cobblefield Cliffstone

APPENDIX B - STYLE AND COLOUR SUMMARIES

GENTEK – VINYL SIDING		
Light	Medium	Dark
Snow White	Dover Gray	Pebble Khaki
Sandstone	Wicker	Chesapeake Gray
Linen	Canyon Clay	Storm
Almond	Sage	Dark Drift
Monterey Sand	Juniper Grove	Rockport Brown
Pearl	Meadow Fern	Smoked Timber
	Rockwell Blue	Espresso
	Hudson Slate	Moonlit Moss
		Coastal Blue
		Midnight Surf
		Windswept Smoke
		Iron Ore
		Majestic Brick (small accent only)

GENTEK – METAL		
Light	Medium	Dark
Bright White	Dover Gray	Sable
Cashmere	Canyon Clay	Commercial Brown
Almond	Wicker	Antique Brown
Canyon Clay	Pebble	Dark Drift
Dover Gray	Meadow Fern	Rockport Brown
	Sable	Smoked Timber
	Chesapeake Gray	Nutmeg
	Hudson Slate	Marine Dusk
		Slate
		Graphite
		Black
		Iron Ore

ROYAL – VINYL SIDING		
Light	Medium	Dark
White	Sand	Tree Moss
Linen	Brownstone	Rockslide
	Pebble Clay	Storm
	Flagstone	Marine Blue
	Harvard Slate	Heritage Blue (accent only)
	Wicker	Midnight Surf
	Heather	Wedgewood
	Estate Gray	Riverway
	Silvermist	Weathered Gray
	Storm	Granite
	Rockslide	Urban Bronze
	Tree Moss	Walnut
	Walnut	Toasted Almond
		Cocoa
		Ironstone
		Shamrock

ROYAL – METAL		
Light	Medium	Dark
White	Sand	Charcoal
Linen	Wicker	Cactus
Cashmere	Gray	Commercial Brown
	Pebble Clay	Antique Brown
	Harvard Slate	Ironstone
	Brownstone	Black
	Cobblestone	Granite
	Chocolate	Cobblestone
		Midnight Surf
		Marine Blue

APPENDIX B - STYLE AND COLOUR SUMMARIES

KAYCAN – VINYL SIDING		
Light	Medium	Dark
White	Pecan	Khaki
Linen	Wicker	Pecan
Sandalwood	Khaki	Java Brown
Bisque	Willow Green	Boulder Gray
Mocha	Clay	Urban Blue (accent only)
Slate Grey	Beige	Brick (accent only)
	Sage	Mahogany
	Flagstone	Cabot Brown
	Stonecrest	Castlemore
	Bisque	Manor
		Cabot Blue (accent only)
		Nordic Blue
		Cobalt
		Evergreen

KAYCAN – METAL		
Light	Medium	Dark
Wolf White	Pearl Grey	Charcoal
Matchcoat Linen	Wicker	Cactus
Sandalwood	Matchcoat Beige	Commercial Brown
Mocha	Prestige Beige	Rustic Granite
Pearl Grey	Sandalwood	Black
	Khaki	

MITTEN – VINYL SIDING		
Light	Medium	Dark
Frost	Cypress (accent only)	Aviator Green
Bone	Indigo	Muskoka Green
Satin Grey	Sage	Annapolis Blue
Sandcastle	Stratus	Regatta Blue
Ash	Nickel	Sapphire Blue
	Flagstone	Huron Blue
	Satin Grey	Yukon Grey
	Brownstone	Gunmetal Grey
	Ash	Rockaway Grey
	Hearthstone	Timberbark
	Khaki Brown	Espresso
	Yukon Grey	Eggplant
	Grenadier Green (accent only)	Richmond Red (accent only)
	Aviator Green	
	Timberbark	

MITTEN – METAL		
Light	Medium	Dark
Polar	Clay	Heron Blue
Herringbone	Grey	Iron Ore
Grey	Pacific Blue	Old World Blue
Clay	Rustic Blue	Nutmeg
Wicker	Sable	Pacific Blue
	Sand	Sable
	Charcoal	Aztec
		Black
		Brown
		Burgundy (accent only)
		Charcoal

APPENDIX B - STYLE AND COLOUR SUMMARIES

FOUNDRY – VINYL WEATHERED COLOURS		
Light	Medium	Dark
Vanilla Bean	Sandalwood	Denim
Golden Straw	Rustic Cedar	Midnight Cloud
Sandalwood	Vintage Taupe	Reclaimed Cedar
	Harvest Wheat	
	Moon Rock	
	Colonial Grey	
	Rustic Brown	
	Red Cedar	
	Arizona Clay	

CHAMCLAD		
Light	Medium	Dark
Pure White	Sunbleached Oak	Cinnamon Walnut
Atlantic White	Barnboard Grey	Toffee
Beachwood Grey	Barrel Oak	Super Matte Modern Walnut
Sunbleached Oak	Chai Cedar	Charred Black
		Black Wood
		Brushed Metallic

LUX		
Light	Medium	Dark
White Oak	Champagne Wave	Kona
Champagne Wave	Silver Wave	Cypress
Silver Wave	Fir	Brushed Graphite
	Cedar	Brushed Carbon
	Tigerwood	
	Suede	
	Pecan	
	Classic Cherry	
	Driftwood	
	Copper Wave	

PORTSMOUTH – ROYAL SHAKES		
Light	Medium	Dark
White	Sand	Black Walnut
Linen	Brownstone	Sedona Shadow
Sterling	Heather	Mountain Ash
Sand	Wicker	Rustic Grey
Soft Maple	Harvard Slate	Grey Wood
	Flagstone	Cottonwood
	Rustic Grey	Aged Pewter
	Pebble Clay	Stonehedge
	Storm	Storm
	Walnut	Rockslide
	Tree Moss	Tree moss
	Silvermist	Toasted Almond
	Cypress	Urban Bronze
	Heritage Blue	Marin Blue
	Granite	Weathered Grey
		Wedgewood
		Cocoa
		Ironstone
		Granite
		Midnight Surf
		Shamrock

NOVIK – SHAKES		
Light	Medium	Dark
White	Weathered Blend	Teak
Heritage Grey	Cedar Blend	Ebony
Sandstone	Canyon Blend	Windsor Blue
Sand	Basalt	Brunswick Green
Soft Maple	Brownstone	Rockaway Grey
	Coventry Grey	Coffee Bean
		Oak
		Walnut

APPENDIX C - ARCHITECTURAL STYLES

HERITAGE STYLE

OVERALL BUILDING MASSING

All model types are included with an emphasis on grounded proportions where the eye is drawn to the street level. Roof slopes are moderate to high at 6/12 or greater. Roof overhangs are suggested 1'6" at moderate pitch and minimum 12" at higher pitch.

ROOF STYLES

Recommended roof styles include hip or side to side and front to back gable. Front facing gables are clad in siding or shakes and are defined by shadow bands at the eaves.



WINDOW STYLES AND PLACEMENT

Windows have a vertical orientation and may include rectangular or elliptical transoms. Grills are installed in the entire pane or upper third. Heavy wood surrounds frame on all openings.

STONE OR BRICK PROFILES

Stone and brick are applied in a panel effect or as a substantial accent. When applied as an accent, the top edge is finished with a soldier course or heavy step trim.

Stone details should include base or columns and verandas. River rock is well suited. Stone tile is not appropriate when siding is used.

EXTERIOR CLADDING

May be finished in brick/stone, siding or shakes. A combination of finishes is commonly used. All siding profiles must be lap board style. Cover profiles are discouraged. Hardi Plank siding is preferred.

COLOURS

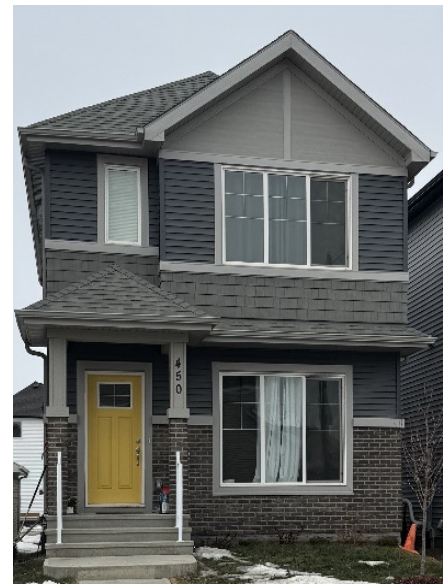
Colours suited to the Heritage style include deep earth tones accented by contrasting heavy trims. White and light cladding colours are not suitable.

APPENDIX C - ARCHITECTURAL STYLES

DEFINING DETAILS AND ENTRANCE TREATMENT

Entrances are covered at a level that encloses and protects the space, at the first level or at a proportionate height. The style, width and detailing of the entranceway creates a sense of arrival. Verandas are common. Columns are solid and substantial with wide base or step detail top and bottom.

Glass lights in traditional styling are commonly included at the overhead door. Entry doors are simple and often include square glass panes. Style definition borrows heavily from the Craftsman style with shakes, shutters and gable braces.



APPENDIX C - ARCHITECTURAL STYLES

PRAIRIE STYLE / PRAIRIE MODERN

OVERALL BUILDING MASSING

Two story or bungalow style will be permitted. The footprint is often L shaped. Roof slopes are to be low, 5/12 or less with wide overhangs and deep fascias. Two story's have one story porch or wing.

ROOF STYLES

Characterized by a simple hip or side gable roof — Low Pitched
— Hip Roofs



WINDOW STYLES AND PLACEMENT

Windows are large, organized and consistent in shape, often incorporating transoms. Windows are uncluttered by omission of grid patterns. Vertical windows in groupings.

STONE OR BRICK PROFILES

Brick is the most desired material for this style. Ledge stone is permitted. Both brick and stone are applied in panel effect. Brick is smooth, often applied with a rock face soldier course to emphasize the horizontal.

EXTERIOR CLADDING

Prairie style homes may be finished in flat brick, often outlined with wood trim. Horizontal siding may also be used. Hardi Plank siding may be suitable.

COLOURS

Colours suited to the Prairie style are mid to dark earth tones with monochromatic or darker contrasting trims.

APPENDIX C - ARCHITECTURAL STYLES

DEFINING DETAILS AND ENTRANCE TREATMENT

Defining details are the horizontal presentation and simplified forms. The entry is typically recessed with side lights and is defined by approach. Entry doors are plain and may be oversized.

Strong horizontal base and details emphasizing horizontal lines.



APPENDIX C - ARCHITECTURAL STYLES

MODERN / CONTEMPORARY SUBURBAN

OVERALL BUILDING MASSING

Bungalow and 3 storey models are permitted. Roofs may be moderate to high pitch, dominating the facade. Roof overhangs are wide on moderate pitch roofs and shallow on high pitch roofs. The contemporary style follows much of the traditional form and detail.



ROOF STYLES

Suggested roof styles include cottage and gables, side to side and front to back combinations. Flat roof designs will be considered on an individual basis with consideration for the overall streetscape.

WINDOW STYLES AND PLACEMENT

A large number of windows in unusual shapes and placements are typical. Trims are simple and definite rather than ornamental.

STONE OR BRICK PROFILES

Brick in a tone on tone application or tyndal/ledgestone in a contrast are well suited. Brick/stone is applied in a substantial panel effect, often with a contrasting soldier course or molding to accentuate the horizontal.

EXTERIOR CLADDING

A variety of finish materials are suitable.

COLOURS

Colours, as finishes, are natural and subtle. The flamboyant colours and bold detailing of the postmodern style are not appropriate.

APPENDIX C - ARCHITECTURAL STYLES

DEFINING DETAILS AND ENTRANCE TREATMENT

Detailing is simple rather than ornamental. Definition is often achieved by weight and difference in planes. Cut lines may also be used. Entries are generally recessed and enclosed at the first level.



APPENDIX C - ARCHITECTURAL STYLES

TRADITIONAL FARMHOUSE / MODERN FARMHOUSE

OVERALL BUILDING MASSING

Homes are to emphasize vertical proportions. Steep Pitch gable rooflines Min 7/12 with dormers and / or low pitched secondary shed roof lines with 12" overhangs. Large porches and grounded verandah spaces.

ROOF STYLES

Characterized by front facing gables with forward-facing shed style garage roof. A flat roof may be introduced as an accent.



WINDOW STYLES AND PLACEMENT

Windows are large and separated with simple thin trims.

STONE OR BRICK PROFILES

Brick or stone is recommended for this style and applied to provide overall grounding of the home. Masonry is discouraged on the second floor.

EXTERIOR CLADDING

The main wall material is recommended to be a vertical board & batten material in 1 colour. Other vertical materials may be considered at the discretion of the design consultant. Premium secondary wall materials include composite or metal wood tone materials, composite panels and board & batten. Secondary wall materials should be applied as a "block" feature and vertical applications are preferred.

COLOURS

Main wall colours suited to the Traditional Farmhouse are mid to dark tones with tonal or matching secondary features. Lighter tones may be considered.

APPENDIX C - ARCHITECTURAL STYLES

ENTRANCE TREATMENT

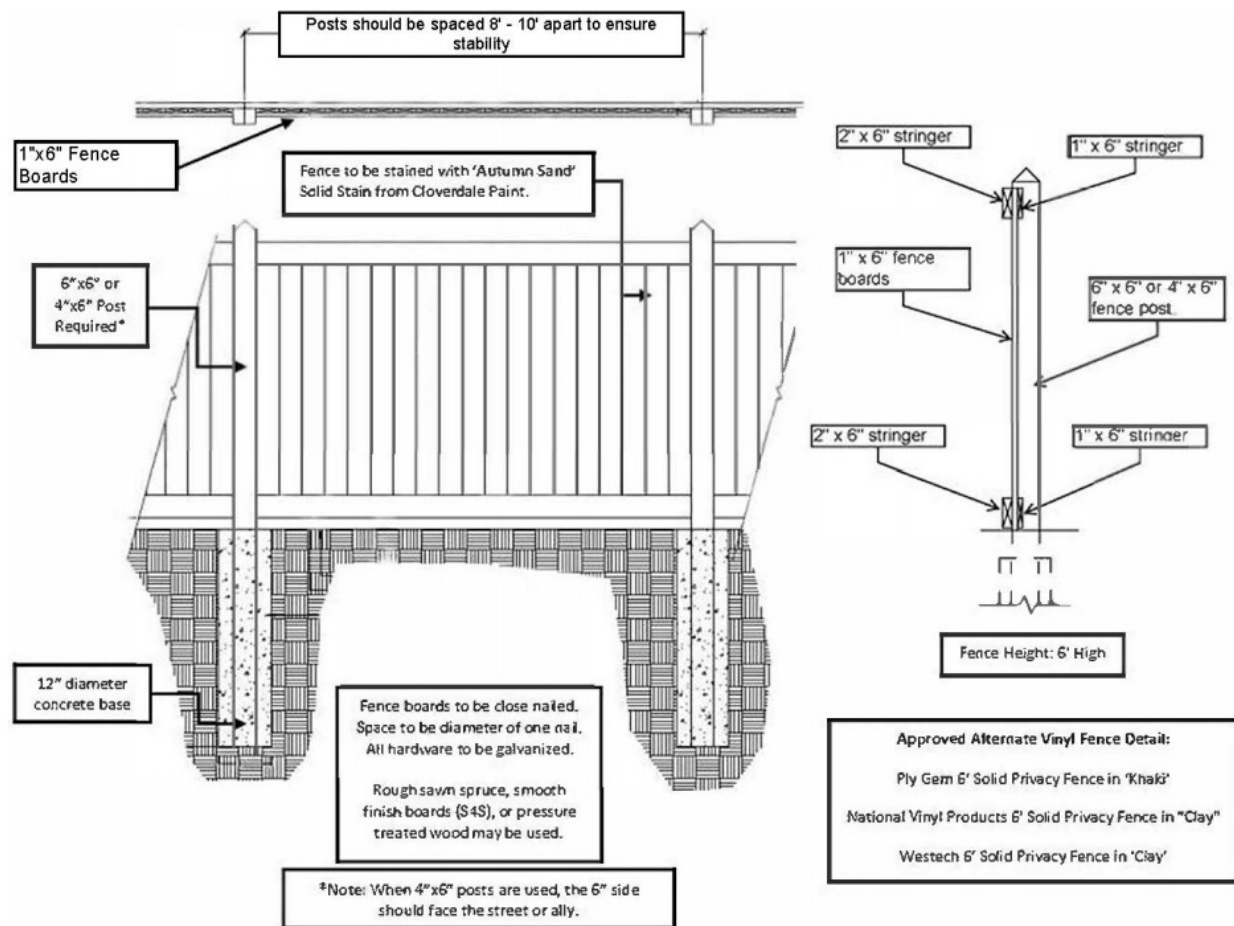
The entry is typically defined by a traditional style door. Cottage roofs or forward-facing shed roofs are a common feature for the verandah or entryway.

DEFINING DETAILS

Homes are to be designed with a simple consistent detailing and a strong vertical presentation. Accent trims (when used) should be 4" and match the adjacent wall colour or window frame colour. Wood columns or wood brackets are highly encouraged.



APPENDIX D - WOODSCREEN FENCING



Colour: All fences must be stained with **Autumn Sand Solid Stain** which is available at Cloverdale Paints.

Material: It is recommended homeowners use 'All Weather Wood' which can be painted immediately after installation, but smooth cut boards or pressure-treated wood is also acceptable.

Vinyl fencing may also be installed. Currently, the following products may be used:

- Ply Gem 6' Solid Privacy Fence in "Khaki"
- Westech 6' Solid Privacy Fence in "Clay"
- National Vinyl Products 6' Solid Privacy Fence in "Clay"



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